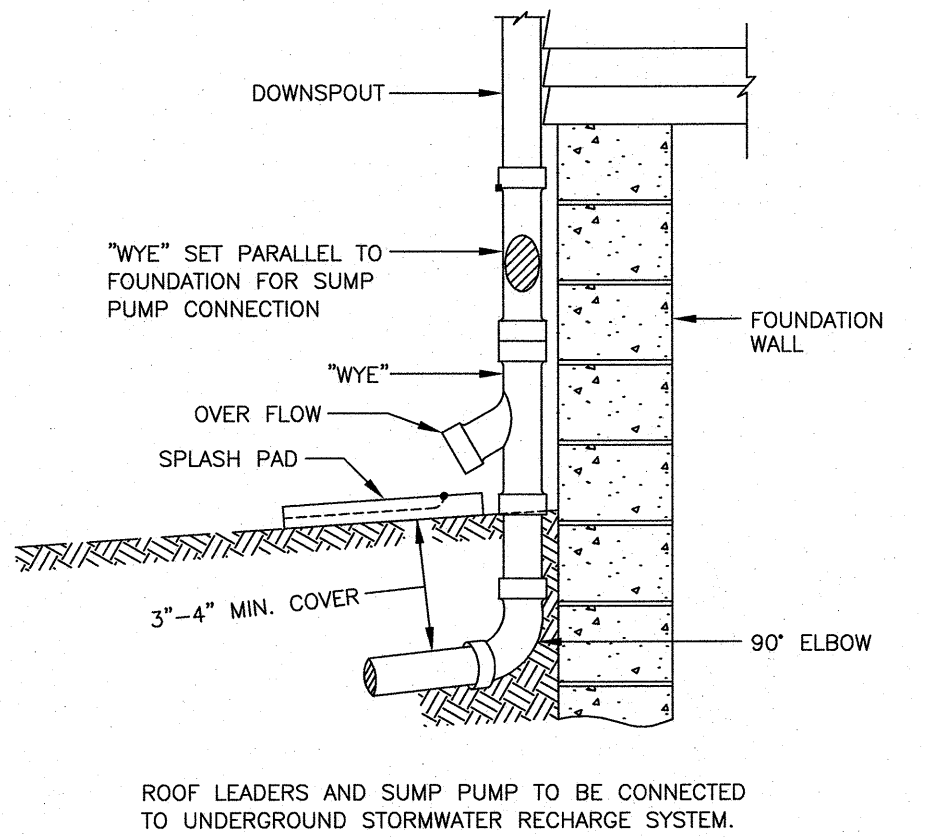
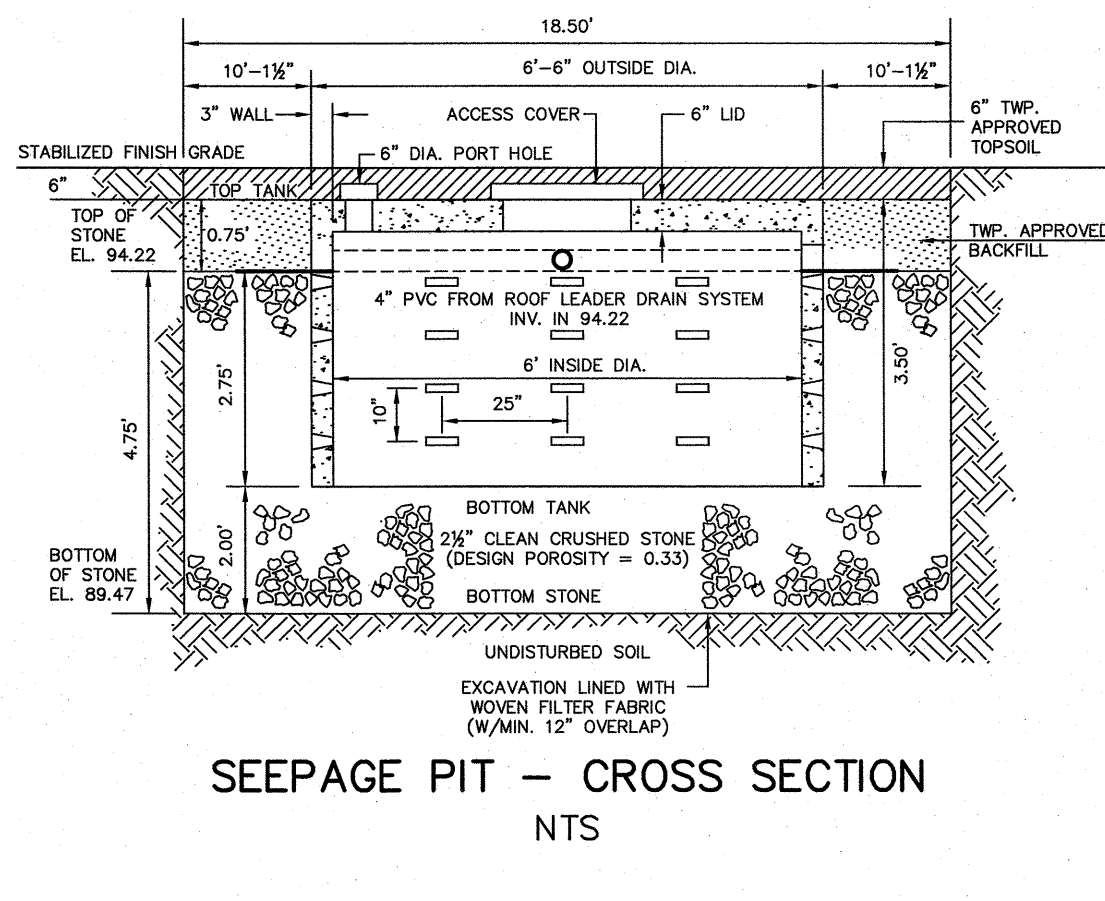
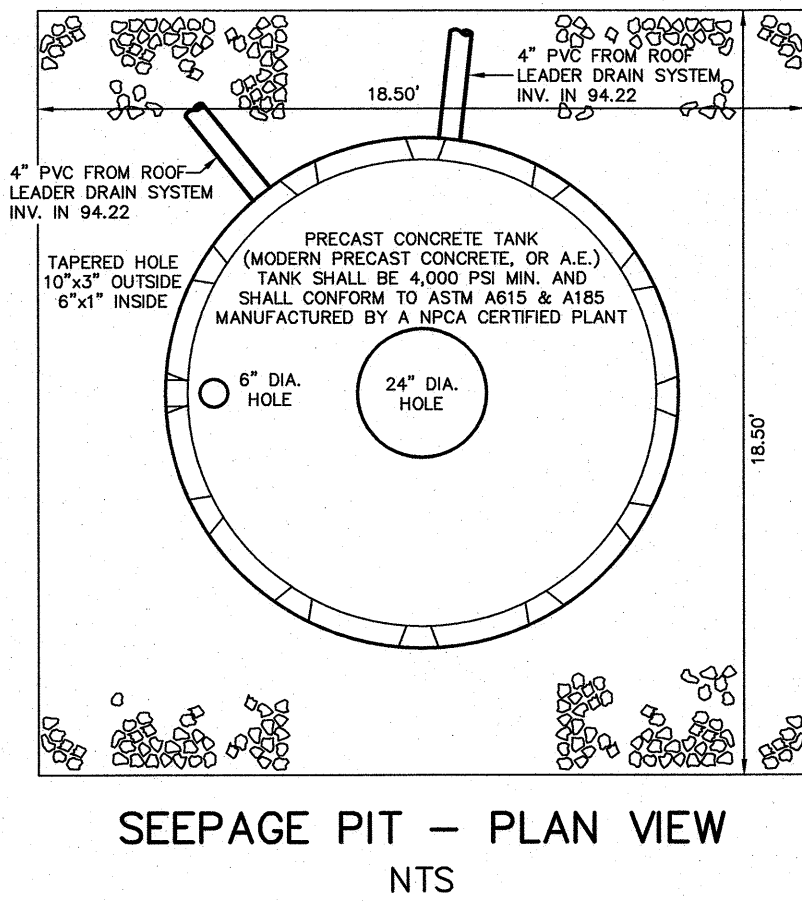
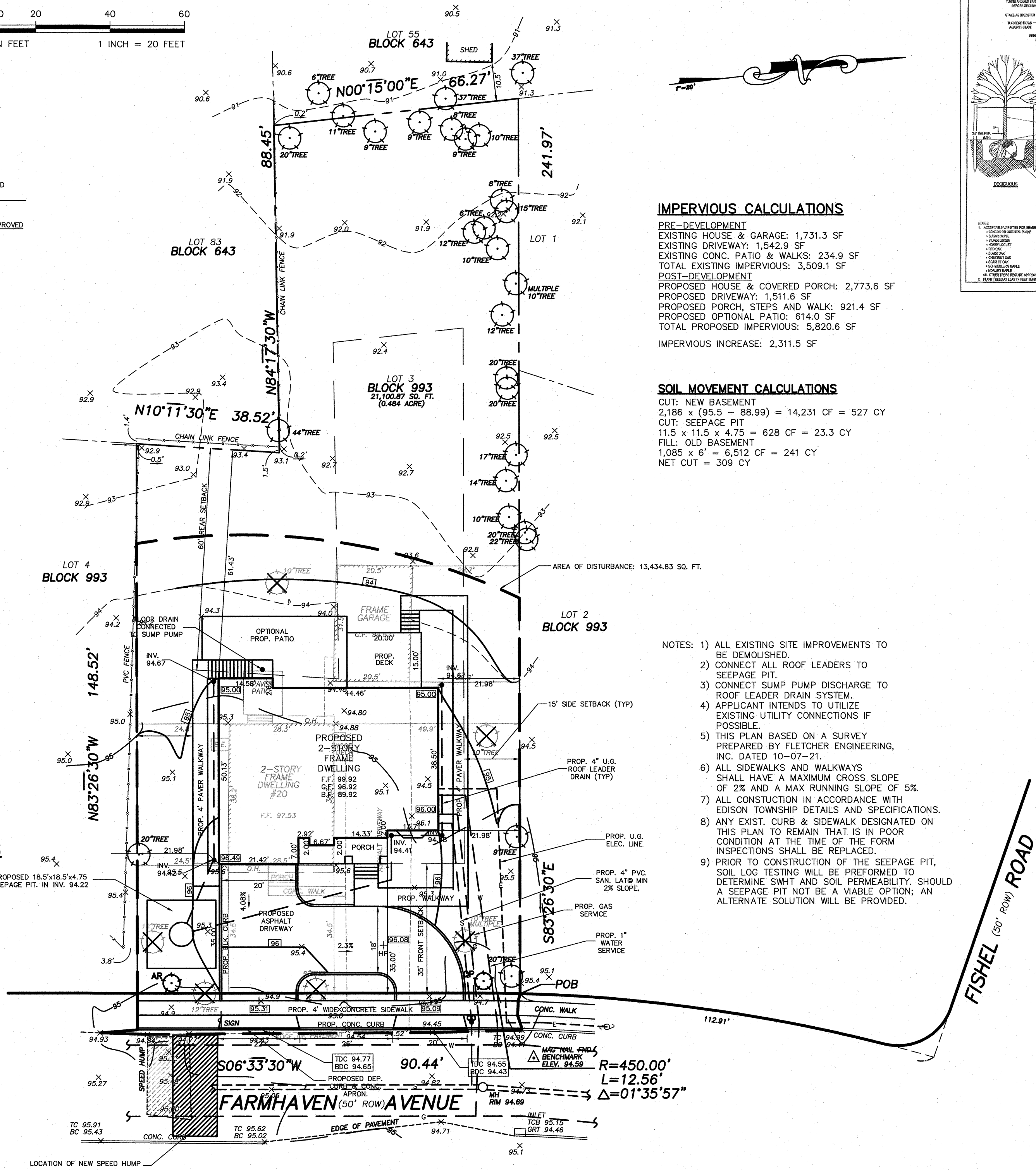


SEEPAGE PIT CALCULATIONS	
EXISTING IMPERVIOUS COVERAGE (SF)	3,509.1
PROPOSED IMPERVIOUS COVERAGE (SF)	5,820.6
NET INCREASE (SF)	2,311.5
STORAGE REQUIRED (CF)	577.9
NET INCREASE x 0.25	
USE 18.50' x 18.50' x 4.75' STONE BED w/ 6" i.d., 6.5' o.d., 2.75' depth DRYWELL	
STORAGE IN DRYWELL (CF): $\pi R^2 (i.d.) \times \text{depth}$	77.8
STORAGE IN STONE (CF): $[(\text{length} \times \text{width} \times \text{depth}) - (\pi R^2 (o.d.) \times \text{depth})] \times 0.33$	509.2
TOTAL STORAGE PROVIDED	584.0



OPTIONAL DRYWELL CONNECTIONS
N.T.S.



- NOTES:
- 1) ALL EXISTING SITE IMPROVEMENTS TO BE DEMOLISHED.
 - 2) CONNECT ALL ROOF LEADERS TO SEEPAGE PIT.
 - 3) CONNECT SUMP PUMP DISCHARGE TO ROOF LEADER DRAIN SYSTEM.
 - 4) APPLICANT INTENDS TO UTILIZE EXISTING UTILITY CONNECTIONS IF POSSIBLE.
 - 5) THIS PLAN BASED ON A SURVEY PREPARED BY FLETCHER ENGINEERING, INC. DATED 10-07-21.
 - 6) ALL SIDEWALKS AND WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAX. RUNNING SLOPE OF 5%.
 - 7) ALL CONSTRUCTION IN ACCORDANCE WITH EDISON TOWNSHIP DETAILS AND SPECIFICATIONS.
 - 8) ANY EXIST. CURB & SIDEWALK DESIGNATED ON THIS PLAN TO REMAIN THAT IS IN POOR CONDITION AT THE TIME OF THE FORM INSPECTIONS SHALL BE REPLACED.
 - 9) PRIOR TO CONSTRUCTION OF THE SEEPAGE PIT, SOIL LOG TESTING WILL BE PERFORMED TO DETERMINE SWIT AND SOIL PERMEABILITY. SHOULD A SEEPAGE PIT NOT BE A VIABLE OPTION; AN ALTERNATE SOLUTION WILL BE PROVIDED.

FISHEL (50' ROW) ROAD

112.91'

90.44'

606'33'30"W

EDGE OF PAVEMENT

CONC. CURB

CONC. WALK

CONC. CURB

CONC. CURB

CONC. CURB

CONC. CURB

CONC. CURB

CONC. CURB

CONC. CURB

CONC. CURB

CONC. CURB

CONC. CURB

CONC. CURB

CONC. CURB

LEGEND	
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
101.2x	EXISTING SPOT ELEVATION
101.15+	PROPOSED SPOT ELEVATION
TC 100.50	PROPOSED TOP/BOTTOM CURB ELEV.
TC 100.00	PROPOSED SURFACE DRAINAGE DIRECTION
6" TREE	EXISTING TREE TO REMAIN
6" TREE	EXISTING TREE TO BE REMOVED
QP	PROPOSED TREE

2 SPEED HUMP

1 ADD UTILITIES

NO. REVISION

MA

06-22-23

MA

04-27-22

DRAWN

DATE

DATE

DATE

DATE

DATE

PLOT & GRADING PLAN
PREPARED FOR
20 FARMHAVEN AVENUE
LOT 3 IN BLOCK 993
MIDDLESEX COUNTY, NEW JERSEY

FLETCHER ENGINEERING, INC. ENGINEERS • SURVEYORS • PLANNERS
P.O. Box 329 • Fords, NJ 08863 • Phone 732-738-8809 • Fax 732-738-6727

SCALE: 1"=20'
DATE: 10-07-21
FILE NO.: 906621
MAP NO.: 1635/928

PAUL J. FLETCHER, P.E., P.P.
PROFESSIONAL ENGINEER N.J. LIC. NO. 32041

CERTIFICATE OF AUTHORIZATION
24642767500

DRAWN: MA
CHECKED: MA
DWG NO.: 906621
SHEET: 1 OF 1

BUILDING HEIGHT CALCULATION:

AVERAGE FINISHED GRADE:	
95.0 + 95.0 + 96.0 + 96.5	= 95.63
DISTANCE FROM FIRST FLOOR TO PEAK OF ROOF (FT.):	= 31.92
ELEV. OF PEAK	= 130.91
BUILDING HEIGHT:	= 35.28'
130.91 - 95.63	

MUNICIPAL CODE OF EDISON TOWNSHIP: CHAPTER 12.16 - TREE CONSERVATION AND REPLACEMENT

TREES REMOVED WITH A D.B.H. EQUAL TO OR GREATER THAN 4 INCHES AND LESS THAN 16 INCHES:

PERCENTAGE OF TREES REMOVED FROM ENTIRE DEVELOPMENT	PERCENTAGE OF TREES TO BE REPLACED WITH TREES OF MIN. 2.5 INCH CALIPER
80-100	80
60-79	60
40-59	40
20-39	20
LESS THAN 20	10

TREES REMOVED WITH A D.B.H. EQUAL TO OR GREATER THAN 16 INCHES:

EXISTING TREE TO BE REMOVED	NUMBER OF REPLACEMENT TREES (MIN. 2.5" CALIPER)	NUMBER OF TREES TO BE REMOVED	NUMBER OF TREES TO BE REPLACED
LESS THAN 18"	3	0	0
LESS THAN 21"	4	0	0
LESS THAN 24"	5	0	0
LESS THAN 27"	6	0	0
LESS THAN 30"	7	0	0
LESS THAN 33"	8	0	0
LESS THAN 36"	9	0	0
LESS THAN 39"	10	0	0
LESS THAN 42"	11	0	0
LESS THAN 45"	12	0	0
LESS THAN 48"	13	0	0
LESS THAN 51"	14	0	0

REPLACEMENT REQUIRED: 0 TREES

TOTAL REPLACEMENT REQUIRED: 1 + 0 = 1 TREE

REPLACEMENT PROVIDED: 1 TREES

REPLACEMENT TREES:

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SIZE AT MATURITY	QUANTITY
○	THUJA OCCIDENTALIS NIGRA	AMERICAN ARBORVITAE	MIN. 8-10 FT., B&B	25-40 FT.	1
○	ACER RUBRUM	RED MAPLE	MIN. 2 1/2" CALIPER, B&B	50-60 FT.	1
○	QUERCUS PALUSTRIS	PIN OAK	MIN. 2 1/2" CALIPER, B&B	50-60 FT.	1

ZONING REQUIREMENTS - R-A ZONE

	REQUIRED	PROPOSED
MINIMUM LOT AREA (S.F.)	20,000	21,100.87
MINIMUM LOT WIDTH (FT.)	100	103
MINIMUM LOT DEPTH (FT.)	150	239.47
PRINCIPAL BUILDING SETBACK FRONT (FT.)	35	35
SIDE (ONE/BOTH) (FT.)	15/30	21.98/43.96
REAR (FT.)	60	61.43
ACCESSORY BUILDING SETBACK SIDE (FT.)	10	N/A.
REAR (FT.)	10	N/A.
MAXIMUM LOT COVERAGE (BLDG.) (%)	15	13.1
MAXIMUM HEIGHT (FT./STORIES)	40/2 1/2	35.28/2
MAX. LOT COVERAGE (ALL IMPERVIOUS) (%)	30	27.5
MINIMUM G.F.A.	1,400	N/A
1 STORY BLDGS. (ALL BLDGS.)	1,400	4,464
MORE THAN 1 STY. (TOTAL OF ALL FLOORS)	1,400	4,464
MAXIMUM FLOOR AREA RATIO	0.25	0.21

EXISTING NONCONFORMITY *
VARIANCE REQUESTED **

SECTION 37-67.3: ISSUANCE OF ZONING PERMIT

	EXISTING	PROPOSED
FIRST FLOOR AREA (SF)	0	2,106
SECOND FLOOR AREA (SF)	0	1,884
ATTIC AND GARAGE AREA (SF)	0	4,474
TOTAL AREA (SF)	0	4,464
OVERALL FLOOR AREA RATIO	0	0.21

CERTIFICATION

THE UNDERSIGNED CERTIFIES THAT THE FLOOR AREAS SET FORTH ABOVE AND THE OVERALL FLOOR AREA RATIO HAVE BEEN VERIFIED BY ME AS ACCURATE. I RECOGNIZE THAT THE ZONING OFFICER IS RELYING UPON THE ACCURACY OF SAID INFORMATION AS PART OF THE ZONING PERMIT PROCESS.

PAUL J. FLETCHER, P.E., P.P.
LICENSE # 32041
DATE: _____

